



# Your Inspection Report

Vancouver Island  
City, BC



**PREPARED FOR:**  
MY CLIENT'S REPORT

**INSPECTION DATE:**  
Thursday, February 1, 2024

**PREPARED BY:**  
Terry Marquis



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report

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Marquis Home Inspections, helping you 'know your home'.

The Priority tab is a Summary that outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Exterior

### EXTERIOR GLASS/WINDOWS \ General notes

**Condition:** • older windows(possibly original), nearing or past life expectancy. Recommend consulting a licensed window installer for scope and costs for replacement.

**Implication(s):** heat loss, operability, possible security issues, cosmetic and visual (fogging of glass if two or three pain windows). Replacement is expensive.

**Location:** Various Throughout

**Task:** Further evaluation

**Time:** As soon as practical, after possession

### LANDSCAPING \ Retaining wall

**Condition:** • [Drainage system missing](#)

Water egress noted. directing drainage towards the building. Recommend consultation for further evaluation from a licensed specialist.

**Implication(s):** Weakened structure | Chance of movement

**Location:** exterior

**Task:** Further evaluation Provide Improve

**Time:** prior to subject removal

## Electrical

### SERVICE BOX, GROUNDING AND PANEL \ Distribution panel

**Condition:** • [Obsolete](#)

'Federal Pioneer' electrical distribution panels have been noted in the industry to have difficulty with the breakers not shutting off, the implications being fire and safety. replacement, repairs and parts may be costly. the panel may need replacement to accommodate new world improvements (i.e. E.V. connectivity/charging). budget for replacement and consult with a licensed electrician on improvements and maintenance

**Implication(s):** Electric shock | Fire hazard

**Location:** distribution panel

**Task:** Further evaluation, consult with a licensed electrician for the scope and costs related to any repairs or replacement.

**Time:** Discretionary, upon any upgrading.

PRIORITY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	INSULATION	PLUMBING	INTERIOR	SITE INFO
REFERENCE									

## Interior

### WINDOWS \ General notes

**Condition:** • [Original lower quality units](#)

Old original windows noted. Implications include heat loss, operability(i.e. open/close functions), possible security issues, and replacement that can be costly. Recommend replacement, budget for and obtain a scope of work and costing from a licensed manufacturer/installer. Implications can include fogging(condition of seal deterioration in double and triple pane windows),and limited availability of parts for repair.

**Implication(s):** Increased heating costs | Increased maintenance costs

**Location:** Various Throughout

**Task:** consult a licensed manufacturer/installer

**Time:** Discretionary

This concludes the Priority(summarized) concerns section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

# ROOFING

Vancouver Island, City, BC February 1, 2024

Report No. 1028, v.2

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## Description/condition

**The home is considered to face:** • East

**Roofing material:** • [Asphalt shingles](#)

**Flashing material:** • Metal

**Typical life expectancy:** • 15-20 years

## Inspection Methods and Limitations

### Inspection performed:

- By walking on roof
  - From roof edge
- Steep East side elevation, inspected from opposite of roof

## Recommendations/Task

### SLOPED ROOFING \ Asphalt shingles

**1. Condition:** • Debris/moss

typical for the age of the roofing material, implications may include leaks and shortened life expectancy. Recommend yearly cleaning and maintenance to remove any debris and moss buildup. further information included in 'Priority Maintenance Items'(Home set-up and maintenance), in the 'Priority' Tab/section of this report

**Implication(s):** Shortened life expectancy of material

**Location:** Various Throughout

**Task:** Service Clean

**Time:** Immediate, upon possession

### SLOPED ROOF FLASHINGS \ Roof/wall flashings

**2. Condition:** • [Nailed through shingles](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

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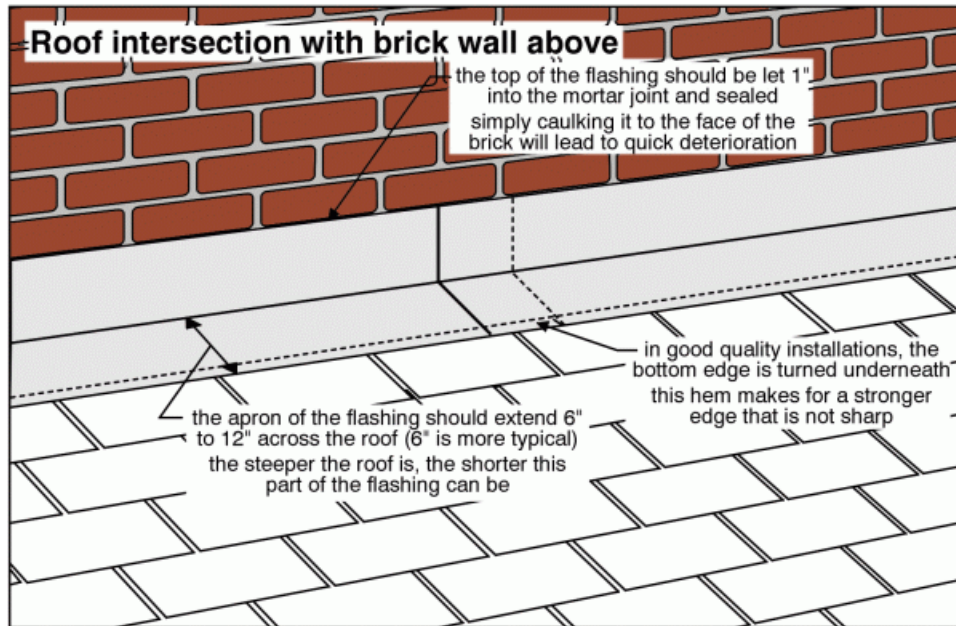
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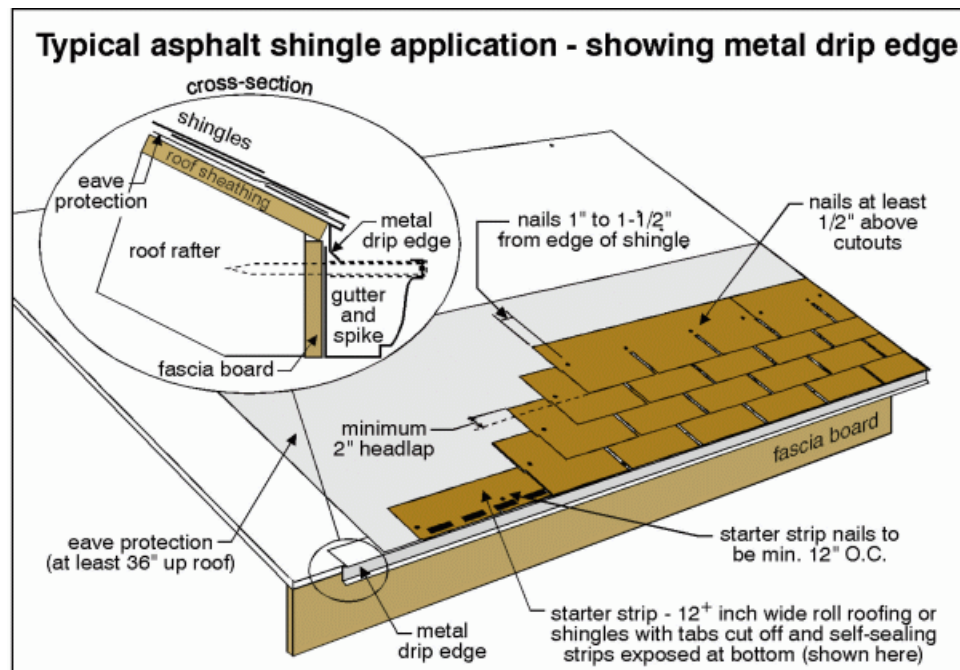
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## SLOPED ROOF FLASHINGS \ Drip edge flashings

3. Condition: • [Missing](#)

Implication(s): Chance of water damage to structure, finishes and contents





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## Description/condition

**Gutter and downspout material:** • Aluminum  
**Gutter and downspout type:** • [Eave mounted](#)  
**Gutter and downspout discharge:** • [Below grade](#)  
**Downspout discharge:** • Below grade  
**Lot slope:** • [Away from building](#) • Flat  
**Soffit (underside of eaves) and fascia (front edge of eaves):** • Aluminum  
**Wall surfaces and trim:** • [Vinyl siding](#)  
**Driveway:** • Concrete  
**Walkway:** • Concrete  
**Deck:** • Wood • Railings • Waterproofing membrane  
**Exterior steps:** • Pressure-treated wood  
**Patio:** • Pavers  
**Garage:** • Attached  
**Garage vehicle doors:** • Present  
**Garage vehicle door operator (opener):** • Present

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Car/storage in garage • Vines/shrubs/trees against wall  
**Upper floors inspected from:** • Ground level  
**Exterior inspected from:** • Ground level

## Recommendations/Task

### ROOF DRAINAGE \ Gutters

#### **4. Condition:** • Dirty/debris

implications include, poor water drainage from roofing structure and potential for leakage and lead damage interior finishes and structural damage. recommend a periodic cleaning regime(i.e. once per year) of removal of debris that may restrict proper drainage.

**Location:** Various

**Task:** Clean

**Time:** immediately upon possession

### ROOF DRAINAGE \ Downspouts

#### **5. Condition:** • Discharge below grade

Part of maintaining your home is preventative maintenance. The building is noted to have downspouts(roof drainage system) that drain below grade that would expect to connect to a perimeter drainage system(not visible). Recommend having a licensed drain specialist evaluate and complete a visual scope of the drainage system to ensure of limited drain blockages, and as needed, the scope of work and costs of repairs, and enquire on routine maintenance/inspections

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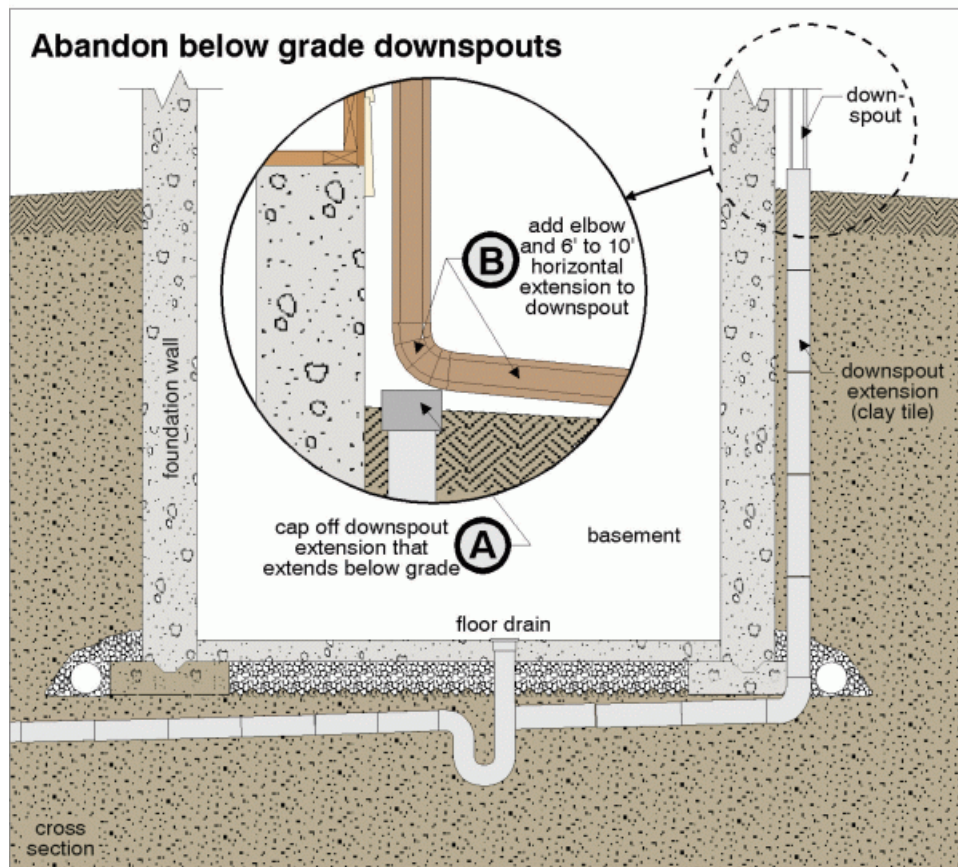
expectations/plans(i.e.dependant on soil/vegetation conditions etc).

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Throughout

**Task:** Service

**Time:** upon possession, Regular maintenance



## WALLS \ Flashings and caulking

### **6. Condition:** • [Caulking missing or ineffective](#)

implications include leakage of water to interior, damaging finished materials and/or structural potential damage.

recommend a periodic maintenance regime to update and improve caulking of exterior penetrations.

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Various, exteriors of windows and exterior doors

**Task:** maintenance and renewal

**Time:** upon possession

## WALLS \ Vinyl siding

### **7. Condition:** • [Buckled or wavy](#)

noted damage to vinyl siding located on the deck area of exterior wall. implications may include water penetration to the backside of the siding increasing risks of leakage to the interior components and potential damage to interior finishes and/or structure. recommend consultation with a licensed siding professional for scope and costs related to replacement and repair.

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**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Southeast Exterior Wall

**Task:** Repair or replace

**Time:** upon possession

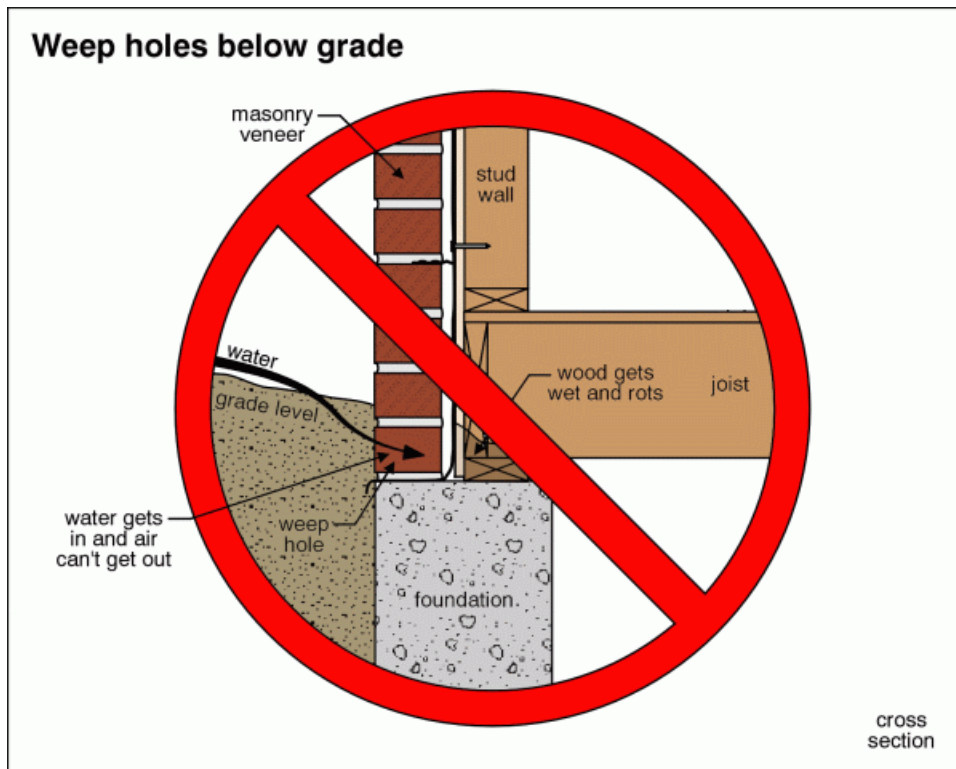
## WALLS \ Masonry (brick, stone) and concrete

**8. Condition:** • [Missing, ineffective weep holes or flashings](#)

**Implication(s):** Chance of water damage to structure, finishes and contents | Material deterioration

**Location:** Various Throughout Exterior Wall

**Task:** Improve Service Clean





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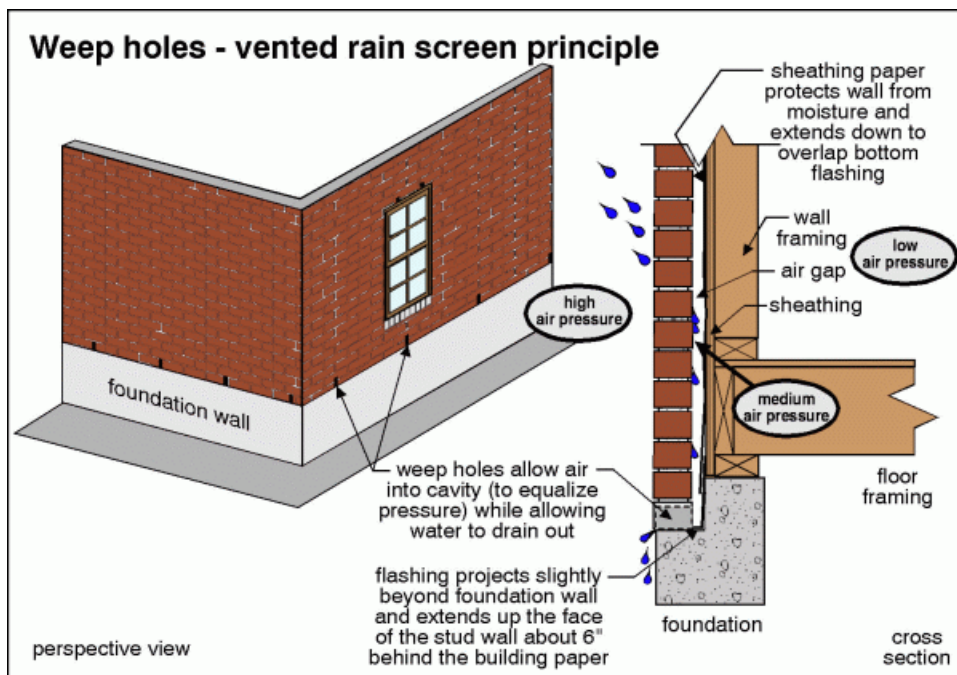
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## WALLS \ Siding and trim

9. Condition: • [Too close to grade](#)

Implication(s): Chance of water damage to structure, finishes and contents | Weakened structure | Rot

## WALLS \ Vent (fan, clothes dryer, etc.)

10. Condition: • Cover missing

Implication(s): Chance of pests entering building | Increased heating and cooling costs

## EXTERIOR GLASS/WINDOWS \ General notes

11. Condition: • older windows(possibly original), nearing or past life expectancy. Recommend consulting a licensed window installer for scope and costs for replacement.

Implication(s): heat loss, operability, possible security issues, cosmetic and visual (fogging of glass if two or three pain windows). Replacement is expensive.

Location: Various Throughout

Task: Further evaluation

Time: As soon as practical, after possession

## DOORS \ General notes

12. Condition: • Threshold too low

Implication(s): Increased heating and cooling costs

## LANDSCAPING \ General notes

13. Condition: • [Planters and gardens against walls](#)

Recommendation to clear all vegetation touching or close proximity to exterior walls and eaves. Implications include damage to under ground perimeter drainage, penetration into eaves from vines or branches, as well as presenting access points for pests and vermin. A yearly maintenance plan is recommended and is best in the early growing season to mediate growth and expansion of vegetation.

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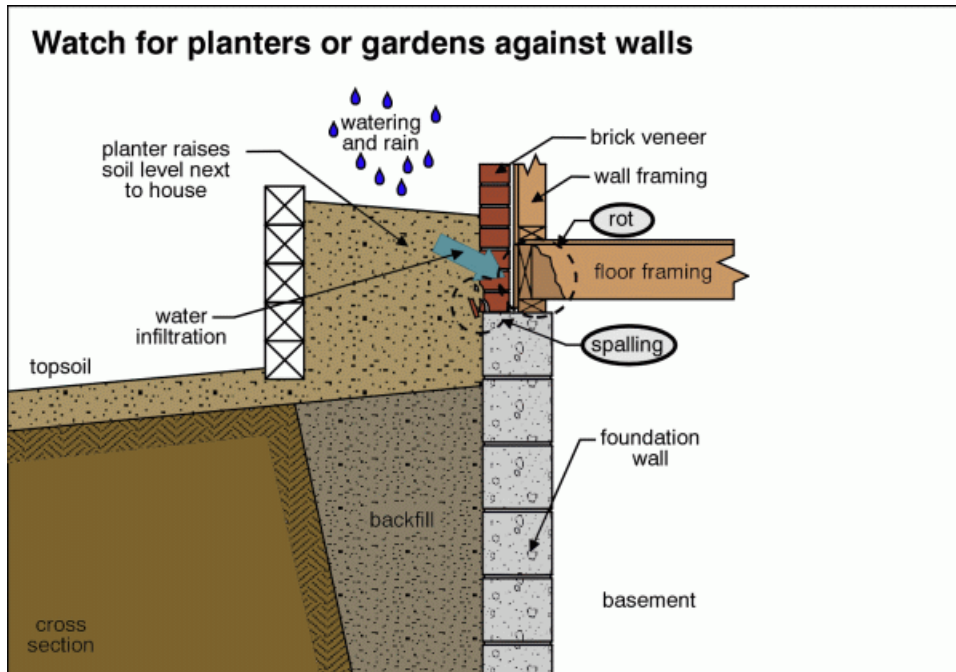
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**Implication(s):** Chance of water entering building | Chance of damage to structure | Chance of structural movement

**Location:** Various

**Task:** Remove

**Time:** As soon as possible



## LANDSCAPING \ Walkway

14. Condition: • [Uneven \(trip hazard\)](#)

**Implication(s):** Physical injury

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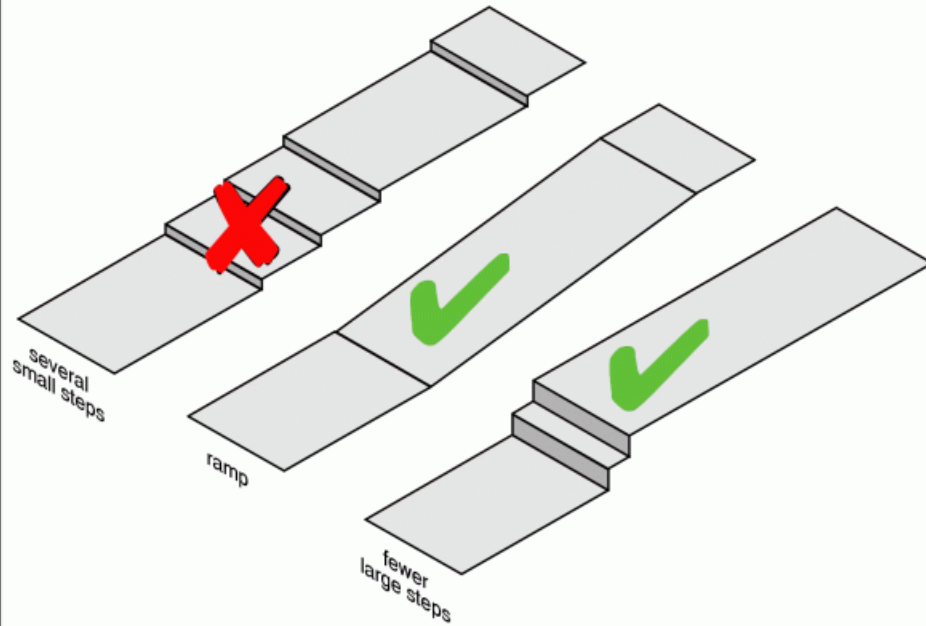
PLUMBING

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## Walkway steps



### LANDSCAPING \ Driveway

15. Condition: • [Cracked or damaged surfaces](#)

Implication(s): Trip or fall hazard

16. Condition: • [Uneven \(trip hazard\)](#)

Implication(s): Physical injury

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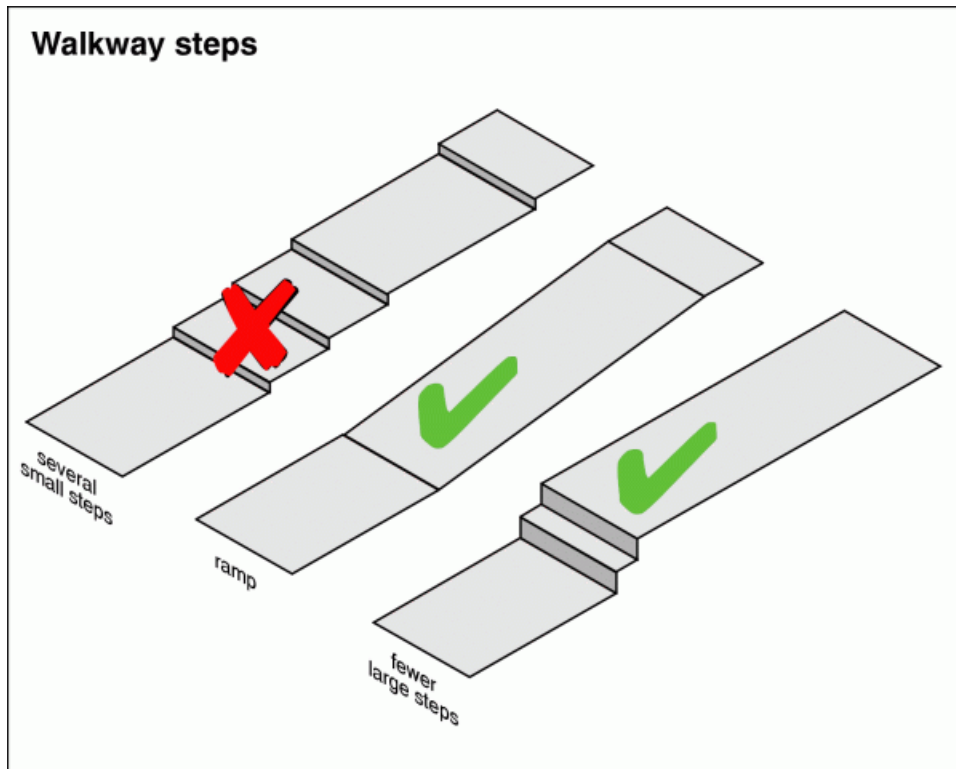
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## LANDSCAPING \ Retaining wall

### 17. Condition: • [Drainage system missing](#)

Water egress noted. directing drainage towards the building. Recommend consultation for further evaluation from a licensed specialist.

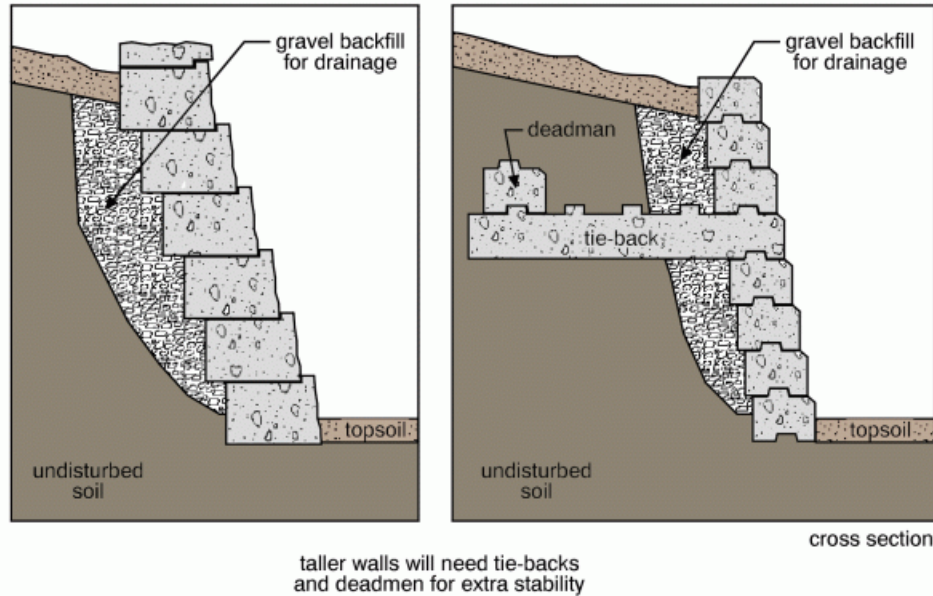
**Implication(s):** Weakened structure | Chance of movement

**Location:** exterior

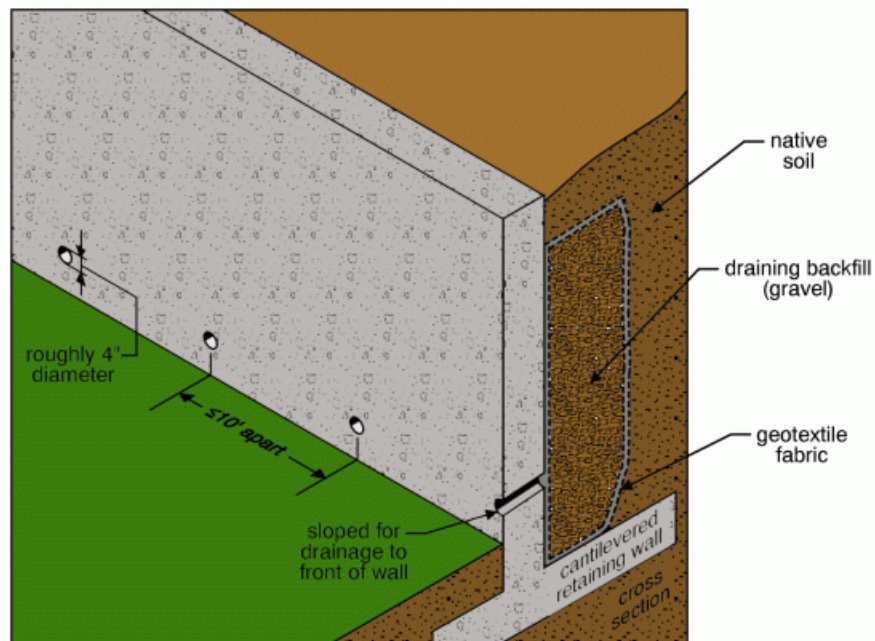
**Task:** Further evaluation Provide Improve

**Time:** prior to subject removal

## Precast concrete retaining wall systems



## Weep holes in retaining wall





## Description/condition

**Configuration:** • [Basement](#)

**Foundation material:** • [Poured concrete](#)

**Floor construction:** • [Joists](#) • Subfloor - plywood

**Exterior wall construction:** • Not visible

**Roof and ceiling framing:** • [Trusses](#) • [Trusses](#) • [Plywood sheathing](#)

## Inspection Methods and Limitations

**Inspection limited/prevented by:** • Ceiling, wall and floor coverings • Carpet/furnishings • Storage

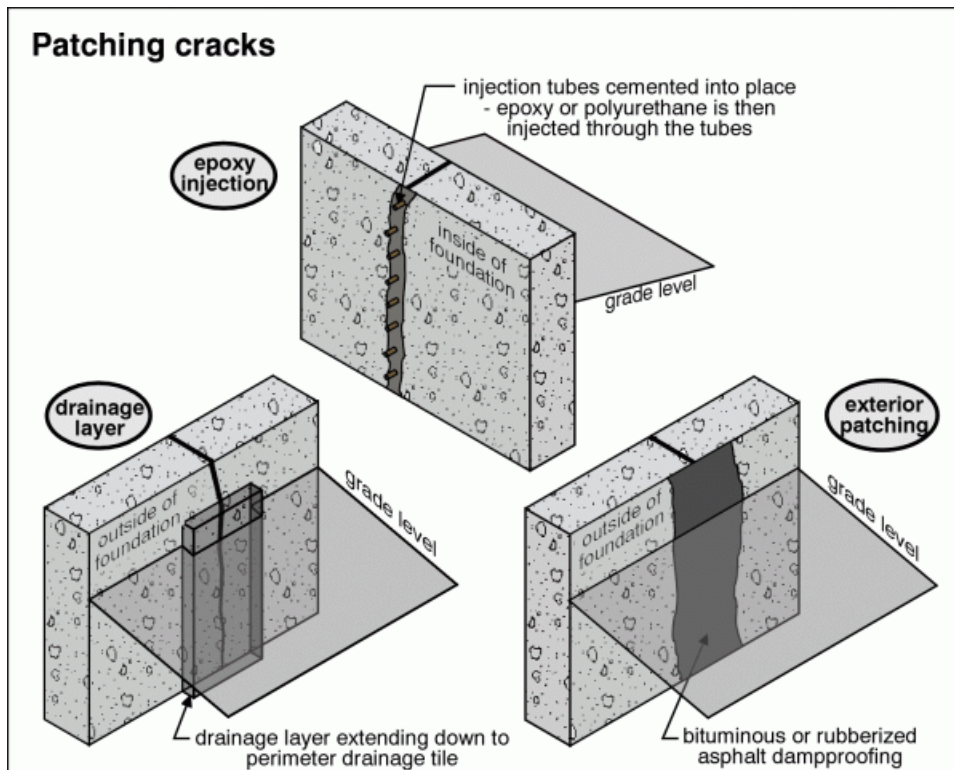
**Attic/roof space:** • Entered but access was limited

## Recommendations/Task

### FOUNDATIONS \ General notes

**18. Condition:** • Typical minor cracks

**Implication(s):** Chance of water entering building



## Crack repair - epoxy and polyurethane injection

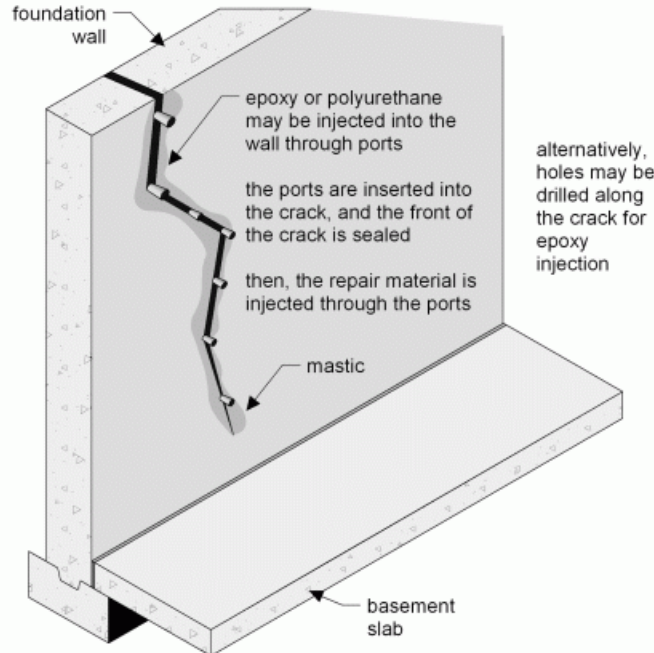
polyurethane is flexible and is not a structural repair, however, it can prevent leakage

it starts out with low viscosity, then expands within the crack

do-it-yourself crack repair kits usually feature polyurethane foam

epoxy is as strong as concrete and forms a structural seal

however, it hardens slowly, and if there is space at the back of the crack, it may leak out



alternatively, holes may be drilled along the crack for epoxy injection

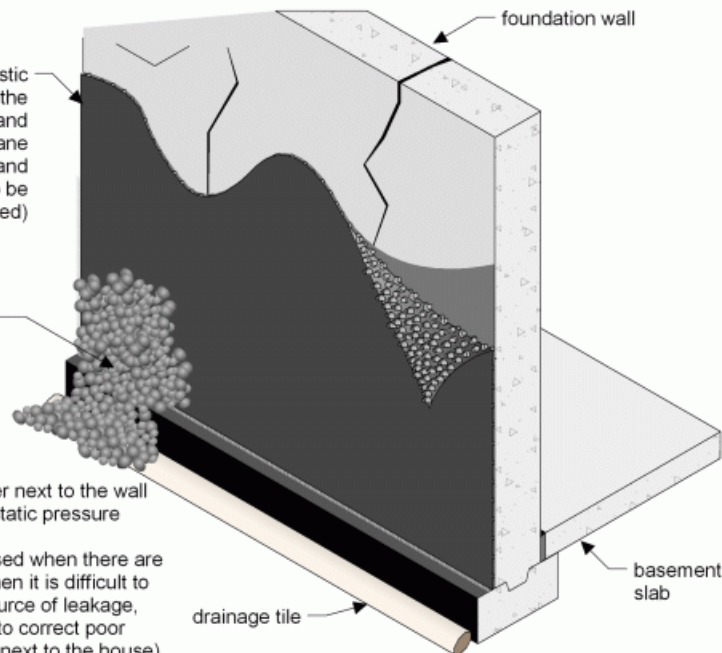
## Crack repair - drainage layer

dimpled plastic membrane protects the wall from moisture and provides drainage plane (other membranes and methods may also be used)

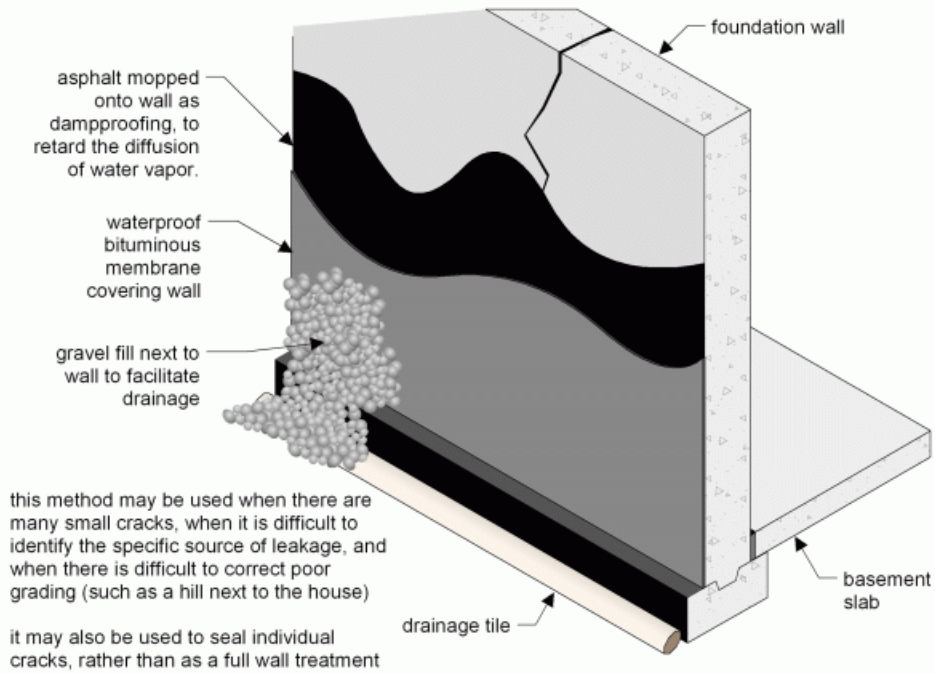
gravel fill next to wall to facilitate drainage

adding a drainage layer next to the wall helps to relieve hydrostatic pressure

this method may be used when there are many small cracks, when it is difficult to identify the specific source of leakage, and when it is difficult to correct poor grading (such as a hill next to the house).



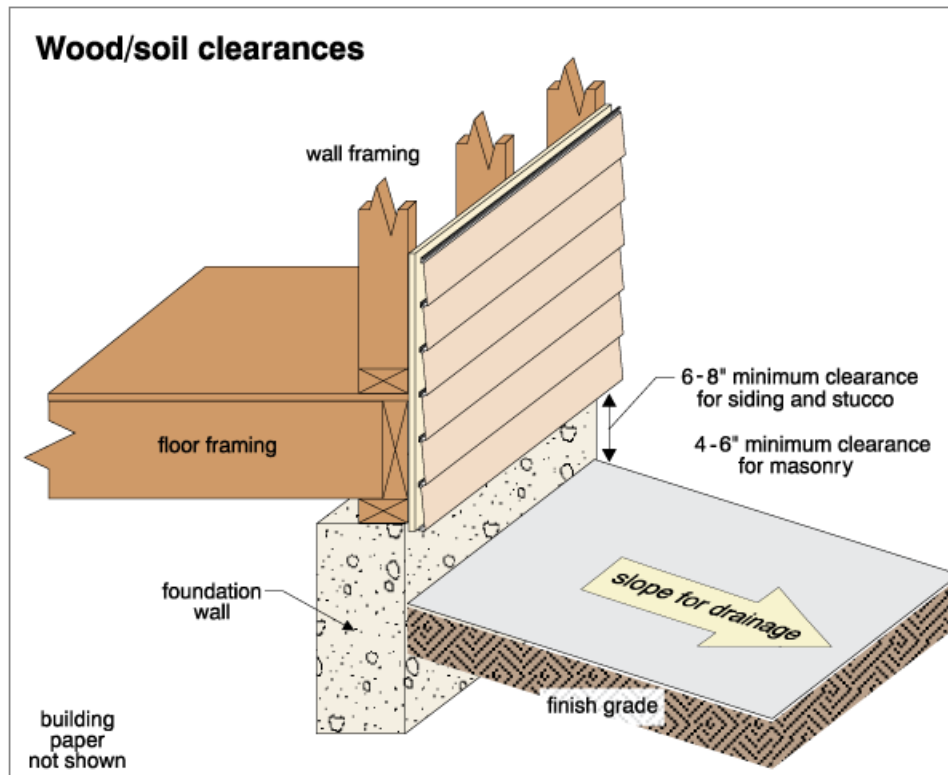
## Crack repair - exterior patching



### WALLS \ Masonry veneer walls

19. Condition: • [Masonry or wood too close to grade](#)

Implication(s): Chance of damage to structure



**20. Condition:** • Weep holes - obstructed

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## Description/condition

**Service entrance cable and location:** • [Overhead](#) • [Overhead - cable type not determined](#)

**Service size:** • [200 Amps \(240 Volts\)](#)

**Main disconnect/service box rating:** • [200 Amps](#)

**Main disconnect/service box type and location:** • [Breakers - garage](#)

**System grounding material and type:** • [Copper - ground rods](#)

**Distribution panel type and location:** • [Breakers - garage](#)

**Distribution panel rating:** • [200 Amps](#)

**Electrical panel manufacturers:**

• Federal Pioneer

federal pioneer has been noted in the industry to have difficulty with the breakers not shutting off, the implications being fire and safety

**Auxiliary panel (subpanel) type and location:** • [Breakers - basement](#)

**Auxiliary panel (subpanel) rating:** • [60 Amps](#)

**Distribution wire (conductor) material and type:** • [Copper - non-metallic sheathed](#)

**Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom and exterior](#)

**Smoke alarms (detectors):** • [Present](#)

**Carbon monoxide (CO) alarms (detectors):** • Present

## Inspection Methods and Limitations

**System ground:** • Continuity not verified • Quality of ground not determined

## Recommendations/Task

**RECOMMENDATIONS \ Overview**

**21. Condition:** • All electrical recommendations or safety issues. Treat them as high priority items.

**Implication(s):** immediate safety issues; electrical / fire hazard and possible insurance issue. repairs may be expensive

**SERVICE BOX, GROUNDING AND PANEL \ Distribution panel**

**22. Condition:** • [Obsolete](#)

'Federal Pioneer' electrical distribution panels have been noted in the industry to have difficulty with the breakers not shutting off, the implications being fire and safety. replacement, repairs and parts may be costly. the panel may need replacement to accommodate new world improvements (i.e. E.V. connectivity/charging). budget for replacement and consult with a licensed electrician on improvements and maintenance

**Implication(s):** Electric shock | Fire hazard

**Location:** distribution panel

**Task:** Further evaluation, consult with a licensed electrician for the scope and costs related to any repairs or replacement.



# ELECTRICAL

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PRIORITY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	INSULATION	PLUMBING	INTERIOR	SITE INFO
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**Time:** Discretionary, upon any upgrading.

# HEATING

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## Description/condition

**Heating system type:** • Electric baseboard heaters

**Fuel/energy source:** • [Electricity](#) • Propane

**Approximate age:** • Not determined

**Main fuel shut off at:** • Exterior wall

**Fireplace/stove:** • [Gas fireplace](#)

**Location of the thermostat for the heating system:** • Dining Room • Kitchen • Bedroom

# INSULATION AND VENTILATION

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## Description/condition

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof air/vapor barrier: • [Plastic](#)

Wall insulation material: • [Glass fiber](#) • Not visible

Wall insulation amount/value: • Not visible

Wall air/vapor barrier: • Plastic • not visible

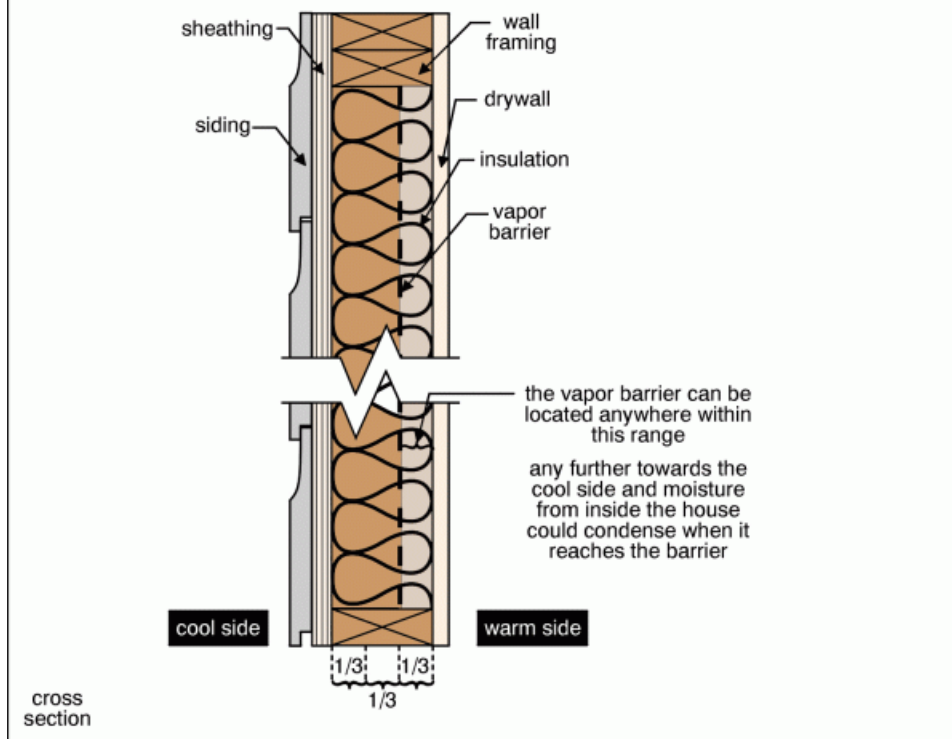
## Inspection Methods and Limitations

Attic inspection performed: • By entering attic, but access was limited

Air/vapor barrier system:

- Continuity not verified due to access prevented by wall/floor finishings

### Vapor barrier location



## Description/condition

**Water supply source (based on observed evidence):** • Public

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • Basement • Near water heater

**Water flow and pressure:** • [Functional](#)

**Water heater type:** • Owned

**Water heater location:** • Basement • Storage room

**Water heater fuel/energy source:** • [Electric](#)

**Water heater manufacturer:** • General Electric (GE)

**Water heater tank capacity:** • [60 gallons](#)

**Water heater typical life expectancy:** • 8 to 12 years

**Waste disposal system:** • [Public](#)

**Waste and vent piping in building:** • [ABS plastic](#)

**Sewer cleanout location:** • Basement

**Pumps:** • None

**Floor drain location:** • Near water heater

**Main gas shut off valve location:** • Basement • Utility room

**Location of fuel storage tank/system:** • North • Exterior

**Backwater valve:** • None noted

**Exterior hose bibb (outdoor faucet):** • Present • Frost free

## Recommendations/Task

### FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

23. Condition: • [Frost Free](#)

### FIXTURES AND FAUCETS \ Shower stall

24. Condition: • [Caulking loose, missing or deteriorated](#)

**Implication(s):** Chance of water damage to structure, finishes and contents

25. Condition: • regular maintenance

**Implication(s):** water/moisture leaks may damage materials, finishes and structure

# PLUMBING

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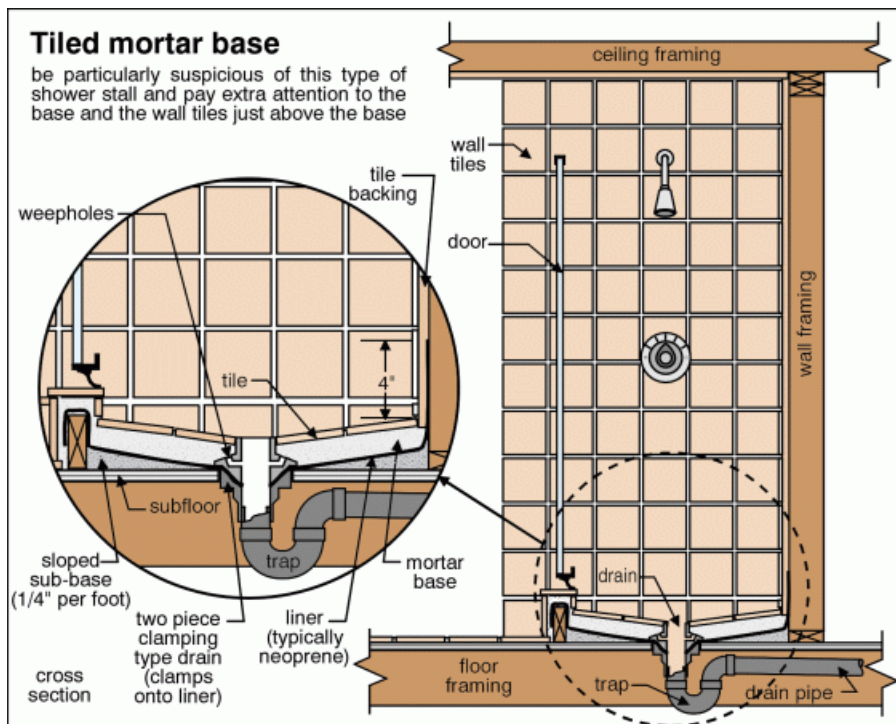
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## Description/condition

Major floor finishes: • [Laminate](#)

Major ceiling finishes: • [Plaster/drywall](#) • [Stucco/texture/stipple](#)

Major wall and ceiling finishes: • [Gypsum board](#)

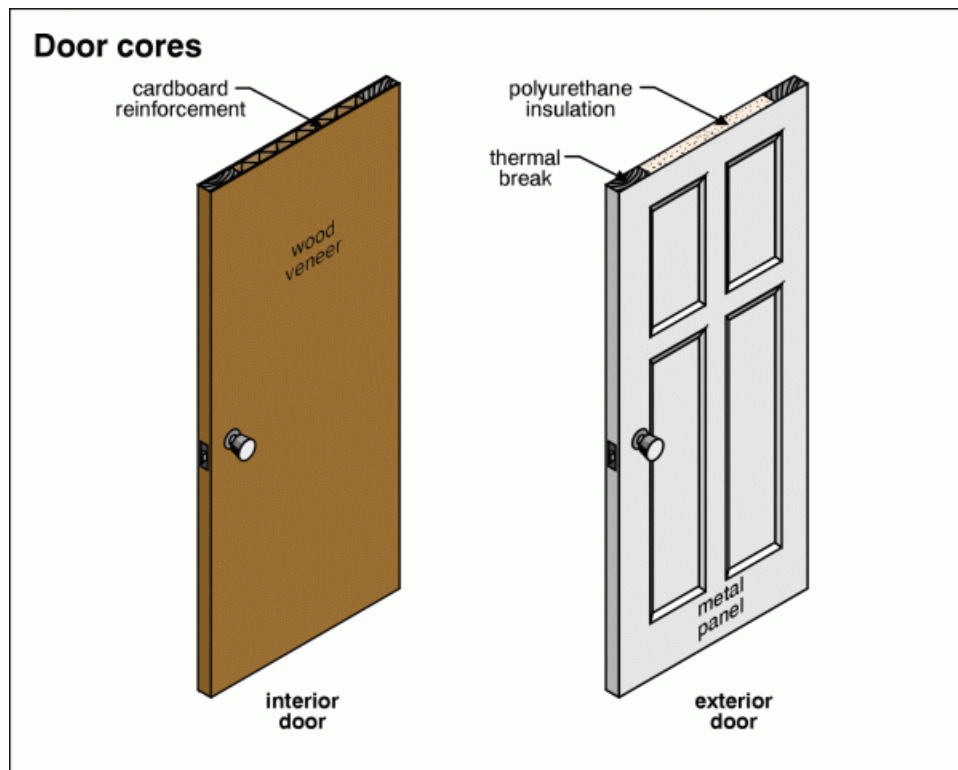
Windows: • [Sliders](#) • [Skylight](#) • Vinyl

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged • [French](#) • [Metal](#) • Garage door - metal

Doors:

• hinged



• pocket doors(sliders)

# INTERIOR

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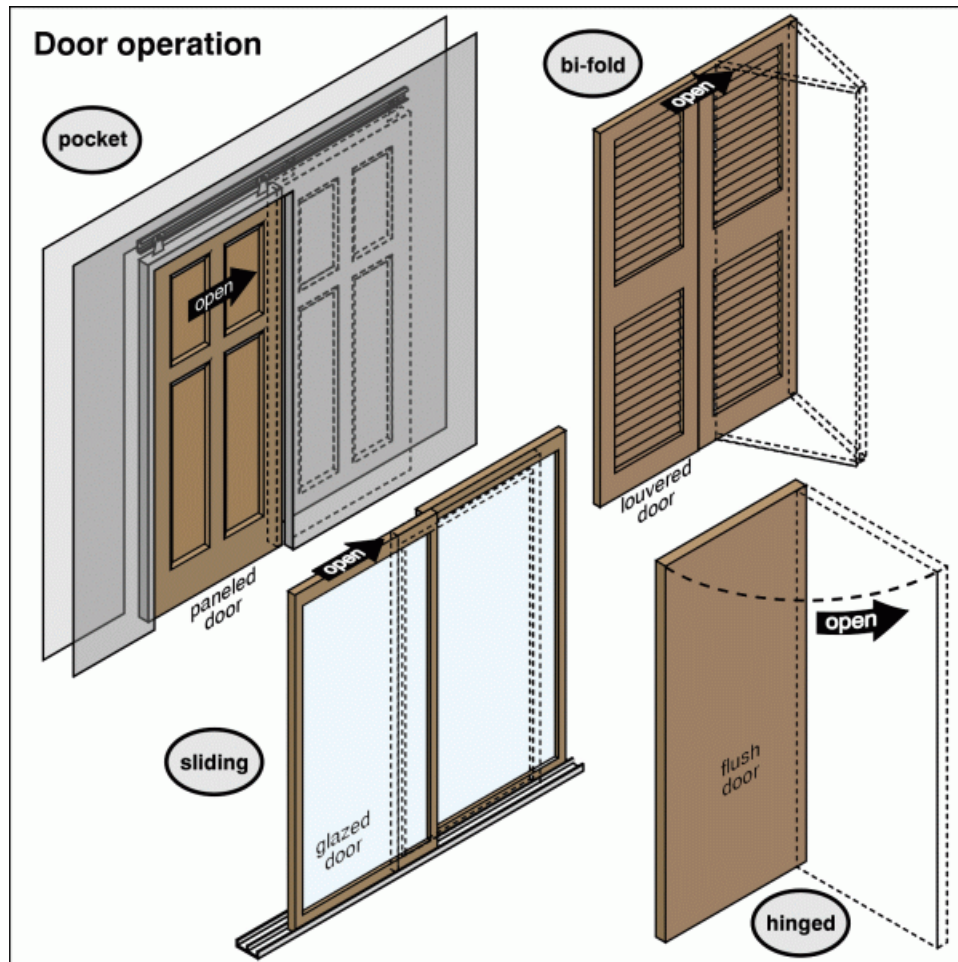
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**Laundry facilities:** • Laundry tub • Vented to outside • Waste standpipe

**Kitchen ventilation:** • Exhaust fan • Range hood • Discharges to exterior • Range hood discharges to the exterior

**Bathroom ventilation:** • Exhaust fan

**Laundry room ventilation:**

- Clothes dryer vented to exterior
- Laundry room cabinet door loose
- None

**Counters and cabinets:**

- Inspected
- Rangehood venting outside

**Stairs and railings:** • Inspected

## Inspection Methods and Limitations

**General:** • HOMES BUILT PRE 1995 MAY CONTAIN MATERIALS THAT ARE NOW CONSIDERED HAZARDOUS. FOR FURTHER INFORMATION VISIT: [www.worksafebc.com](http://www.worksafebc.com) OR HEALTH CANADA AT [www.canda.ca/en/health-canada/services/air-quality/indoor-air-contaminants/health-risks-asbesto](http://www.canda.ca/en/health-canada/services/air-quality/indoor-air-contaminants/health-risks-asbesto) TO INFORM YOURSELF WITH SAFE PRACTICES IN HANDLING MATERIALS CONSIDERED TO BE HAZARDOUS(I.E. ASBESTOS AND LEAD).

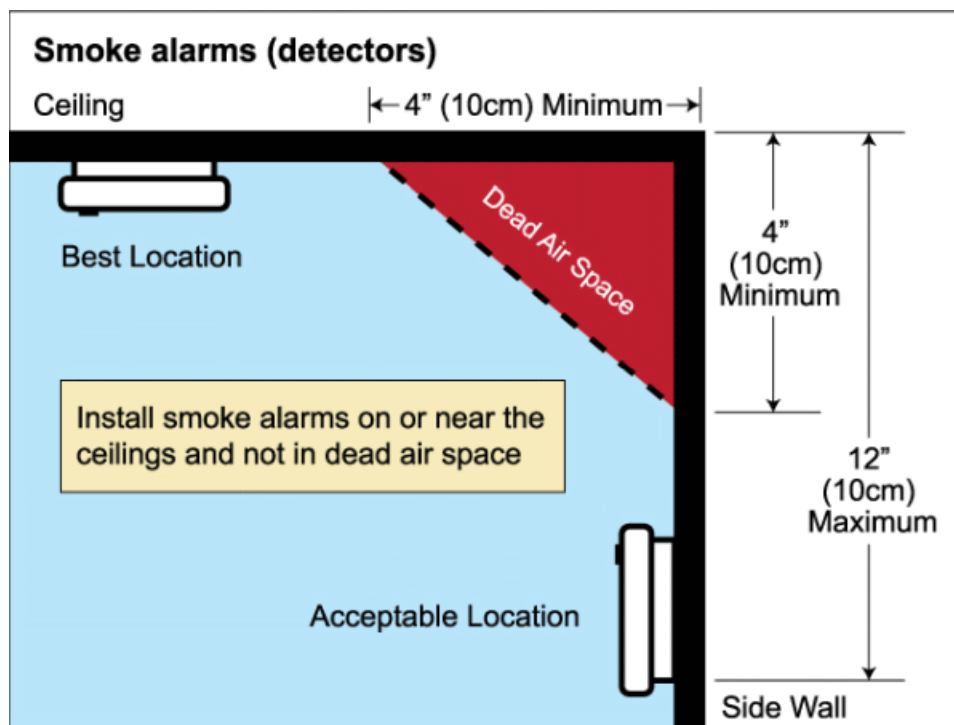
**Not included as part of a building inspection:** • Window treatments(including draperies, blinds and general window coverings) • home perimeter drainage(drainage tile), not visible during inspections • frequent/recent basement/crawlspace water leakage, create unsafe conditions not inspectable. • recreation facilities

## Recommendations/Task

### SMOKE OR CARBON MONOXIDE DETECTORS \ Interior

**26. Condition:** • not visible, missing or close to expiring, need testing or replacing

**Implication(s):** health and safety concerns, they save lives



### WINDOWS \ General notes

**27. Condition:** • [Original lower quality units](#)

Old original windows noted. Implications include heat loss, operability(i.e. open/close functions), possible security issues, and replacement that can be costly. Recommend replacement, budget for and obtain a scope of work and costing from a licensed manufacturer/installer. Implications can include fogging(condition of seal deterioration in double and triple pane windows),and limited availability of parts for repair.

**Implication(s):** Increased heating costs | Increased maintenance costs

**Location:** Various Throughout

**Task:** consult a licensed manufacturer/installer

**Time:** Discretionary

## CARPENTRY \ Cabinets

**28. Condition:** • [Doors or drawers missing or loose](#)

Recommend fixing loose cabinet, hinges, and parts

**Implication(s):** Nuisance | Damage or physical injury due to falling materials

**Location:** Various Throughout Laundry Area

**Task:** Repair or replace

**Time:** As soon as practical

# SITE INFO

Vancouver Island, City, BC    February 1, 2024

Report No. 1028, v.2

[marquishomeinspections.ca](http://marquishomeinspections.ca)

PRIORITY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

SITE INFO

REFERENCE

## Description/condition

**Weather:** • Sunny

**Attendees:** • Trial inspection

**Occupancy:** • The home was occupied at the time of the inspection.

**Approximate inspection Start time:** • The inspection started at 10:00 a.m.

**Approximate age of home:** • 30 to 35 years

**Approximate date of construction:** • 1993

**Approximate size of home:** • 3000 ft.<sup>2</sup>

**Building type:** • Detached home

**Number of stories:** • 2

**Number of stories:** • Level entry basement

**Number of rooms:** • 12

**Number of bedrooms:** • 5

**Number of bathrooms:** • 3

**Number of kitchens:** • 2

**Below grade area:** • Basement

**Street type:** • Residential

**Street surface:** • Paved

**END OF REPORT**



REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS